

AGREEMENT MADE UNDER SECTION 41 OF THE PLANNING ACT, R.S.O. 1990

THIS AGREEMENT made this _____ day of _____, 2018.

BETWEEN:

THE CORPORATION OF THE TOWN OF ST. MARYS

(Hereinafter called the "Town")

OF THE FIRST PART

AND:

STINNISSEN ENTERPRISES LIMITED

(Hereinafter called the "Owner")

OF THE SECOND PART

WHEREAS the Owner is the owner of the lands described as Part Lot 12, Concession South Boundary, Blanshard, as Part 1 on 44R-2099; T/W R384774 & S/T R384773; S/T Spousal Interest in R285116; in the Town of St. Marys in the County of Perth hereto being all of PIN 53252-0425 (LT) all in the Registry Office for the Land Titles Division of Perth (No. 44) (hereinafter referred to as the "Lands").

AND WHEREAS the Town has imposed the provisions of Section 41 of the Planning Act, R.S.O. 1990 in respect to the land;

AND WHEREAS this Agreement is being entered into by the parties hereto as a condition to the approval of the plans and drawings referred to in Subsection 4 of Section 41 of the Planning Act, R.S.O. 1990;

AND WHEREAS this Agreement shall be registered against "the lands" to this Agreement and the Town is entitled to enforce the provisions thereof against the Owner and, subject to the provisions of the Registry Act and the Land Titles Act, any and all subsequent owners of the land, in accordance with Subsection 10 of Section 41 of the Planning Act, R.S.O. 1990;

NOW THEREFORE WITNESSETH that for the sum of TWO DOLLARS (\$2.00) paid to the Town by the Owner (receipt whereof is hereby acknowledged), and in consideration of the Town approving the plans and drawings for the development of “the lands”, the Owner covenants and agrees with the Town to provide, to the satisfaction of and at no expense to the Town, the following:

1. The Owner Agrees:

- (a) that all buildings and structures to be erected on the Lands shall be located in accordance with the building locations as shown on Drawings 1 and 2 attached hereto as part of Schedule “A”;
- (b) that all services including sanitary sewers and appurtenances, storm sewers and approved storm water management, and water main and appurtenances shall be as shown on Drawing 2 attached hereto as part of Schedule “A” and shall be maintained by the Owner at its expense on an ongoing basis;
- (c) that if required all utility services to the property line including sanitary sewers and appurtenances, storm sewers and approved storm water management, and water main and appurtenances be installed under the authority and supervision of the Town of St. Marys. Utility service installations shall be facilitated by the Town, at the request of the proponent. The proponent shall be responsible for any and all costs associated with the required utility services. Utility services shall be according to Drawing 2 attached hereto as part of Schedule “A”;
- (d) that all necessary provisions for service connections on the Lands shall be made to the satisfaction of the Town;
- (e) that access to and from the Lands shall be designed and constructed at the sole risk and expense of the Owner and shall be located and constructed as shown on Drawings 1 and 2 attached hereto as Schedule “A”;
- (f) that the internal driveways, vehicle parking areas, vehicle maneuvering areas and pedestrian walkways shall be designed and constructed at the sole risk and expense of the Owner and shall be locate and constructed as shown on Drawings 1 and 2 attached hereto as part of Schedule “A”;
- (g) that vehicle parking areas and walkways shall be designed to have regard for

- accessibility for persons with disabilities;
- (h) that landscaping shall be provided in accordance with Drawings 1 and 2 attached hereto as part of Schedule "A". All landscaped materials shall be maintained by the Owner on an ongoing basis;
 - (i) that during construction, the Owner shall provide protection for any existing trees with temporary fencing to the extent of the drip line;
 - (j) that erosion and sediment controls shall be provided for the site during construction to the satisfaction of the Town;
 - (k) that final grades and elevations shall be established to the satisfaction of the Town and shall be in accordance with the grading and elevations as shown on Drawing 2 attached hereto as part of Schedule "A";
 - (l) that all lighting facilities to be used and/or provided shall be of a type, location, height, intensity and design to ensure illumination and shall not glare onto any adjacent or abutting properties and further to this shall be suitably located and deflected in order to prevent negative impacts on abutting or adjacent properties;
 - (m) that all hydro cables be located underground on the Lands;
 - (n) that all loading facilities shall be provided and be located in accordance with Drawings 1 and 2 attached hereto as part of Schedule "A";
 - (o) that waste storage facilities shall be located as shown on Drawings 1 and 2 attached hereto as part of Schedule "A";
 - (p) that snow storage shall be on the property as shown on Drawings 1 and 2 attached hereto as part of Schedule "A";
 - (q) that the existing development on the property pre-dating this agreement as shown on Drawings 1 and 2 attached hereto as part of Schedule "A, previously not subject to site plan agreement, shall come under the terms and conditions of this site plan agreement;
 - (r) that the development on the Lands including but not limited to driveways, buildings, structures, paved areas, landscaping and lot grading shall be maintained at the sole risk and expense of the Owner on an ongoing basis;

- (s) that any and all development on the Lands shall be to Town standards and the provisions of the Town's Zoning By-law in effect at the time of development;
- (t) that all uses on the Lands and within the buildings on the Lands shall be in accordance with the provisions of the Town's Zoning By-law Z1-1997, as amended.

2. Schedule "A" consists of the following drawings:

- a) Drawing One prepared by Johnson Engineering Consultants on February 14, 2018 and revised on February 22, 2018, and numbered as C02 and having a file number as 20060048 and being sheet number 2 of 2;
- b) Drawing Two prepared by Johnson Engineering Consultants on February 14, 2018 and revised on February 22, 2018, and numbered as C01 and having a file number as 20060048, and being sheet number 1 of 2;
- c) Drawing Three prepared by Johnson Engineering Consultants on February 14, 2018 and numbered as S1 and having a filing number of 20060048 and being sheet 1 of 4.
- d) Drawing Four prepared by Johnson Engineering Consultants on February 14, 2018 and numbered as S2 and having a filing number of 20060048 and being sheet 2 of 4;
- e) Drawing Five prepared by Johnson Engineering Consultants on February 14, 2018 and numbered as S3 and having a filing number of 20060048 and being sheet 3 of 4;
- f) Drawing Six prepared by Johnson Engineering Consultants on February 14, 2018 and numbered as S4 and having a filing number of 20060048 and being sheet 4 of 4.

- 3. Schedule "A", as described in paragraph 2. above and attached hereto shall form part of this Agreement.
- 4. The Owner shall enter into a Separate Agreement for electricity with Festival Hydro Inc.
- 5. Entrances to the buildings shall be kept clear of any obstructions including snow accumulation at the responsibility of the owner.
- 6. The owner shall be responsible for the cost of any signage and the installation of said signage required for this site.

7. The Owner agrees that the abutting street to be used for access during construction shall be kept in good and usable condition during the said construction and all necessary care will be taken to see that mud and soil is not tracked or pulled onto any public street or sidewalks. If damaged or muddied, such streets or sidewalks shall be restored and/or cleaned up by the owner at his own expense. The owner acknowledges that he has the responsibility to correct or clean muddied streets used for access during construction. If the owner fails to complete said work, then the provision of paragraph 10 of this Agreement shall apply.
8. Minor adjustments to the requirements of this Site Plan Agreement may be made subject to the approval of the Town provided that the spirit and intent of the Agreement is maintained. Such minor adjustments shall not require an amendment to this Agreement; however, the written approval of the Town is required before such minor adjustments can be made.
9. Nothing in this Agreement constitutes a waiver of the obligation of the Owner to comply with the Zoning By-law of the Town, Ontario Building Code or any other By-laws of the Town or any restrictions or regulations lawfully imposed by any other authorities having jurisdiction in connection therewith.
10. In the event of the failure by the Owner to comply with any of the provisions of this Agreement, the Town, its servants or agents, on seven (7) days' notice in writing to the Owner of its intention and forthwith in the case of any emergency, shall at its sole discretion have the right to rectify such failure to comply to its satisfaction and recover the expense incurred by the Town in a like manner as municipal taxes.
11. The Owner agrees to deposit with the Town a refundable security deposit in the amount of Ten Thousand Dollars (\$10,000.00) at the time of application for a building permit so as to ensure due performance of the requirements of this Agreement and to repair damaged public services including curb, road and sidewalk. The security deposit shall be refunded without interest or penalty when the Owner's architect or engineer provides a certificate to the Town that the conditions of this Agreement have been completed and any damaged public services have been repaired to the satisfaction of the Town.
12. If any notice is required to be given by the Town to the Owner in respect to this Agreement, such notice shall be sent by registered mail, registered courier or

delivered personally by the Town employee or its agent to:

Andrew Stinnissen
Stinnissen Enterprises Limited
115 Thomas Street
Stratford ON N5A 0E8

or to such other addresses of which the Owner has notified the Town in writing, and any such notice mailed, sent or delivered shall be deemed good and sufficient notice under the terms of this Agreement.

13. Any provision of this Agreement which is prohibited or unenforceable shall be ineffective to the extent of such prohibition or unenforceability and shall be severed from the balance of this Agreement, all without affecting the remaining provisions of this Agreement.
14. This Agreement shall be registered against the Lands by the Town and all costs associated with the said registration shall be the responsibility of the Owner. The covenants, agreements, conditions and understandings herein contained on the part of the Owner shall run with the Lands and shall enure to the benefit of and be binding upon the parties hereto and their respective successors, heirs, executors, administrators and assigns.
15. Execution of this Agreement shall be deemed to be authorization by all parties to legal counsel for the Town to register same in the appropriate Land Titles Office without further written authorization.
16. The failure of a Party at any time to require performance by the other Party of any obligation under this Agreement shall in no way affect the first Party's right thereafter to enforce such obligation, nor shall any such waiver be taken or held to be a waiver of the performance of the same or any other obligation hereunder at any later time.
17. The parties hereto covenant and agree that at all times and from time to time hereafter upon every reasonable written request so to do, they shall make, execute, deliver or cause to be made, done, executed and delivered, all such further acts, deeds, assurances and things as may be required for more effectively implementing and carrying out the true intent and meaning of this Agreement including any amendments to this Agreement required to effect the registration of this Agreement.

18. The parties hereto acknowledge and agree that this agreement is further to and does not remove any of the Owner's obligations under any prior Agreements.
19. The Owner agrees on behalf of itself and its heirs, executors, administrators, successors and assigns to indemnify the Town from all losses, damages, costs, changes and expenses which may be claimed or recovered against the Town by any person or persons arising either directly or indirectly as a result of any action taken by the Owner pursuant to this agreement.
20. The Owner hereby covenants and agrees to save harmless the Town from any loss whatsoever arising out of or pursuant to the execution of this Agreement and the issuing of a building permit whether final or conditional for any construction on the Lands. This indemnification shall apply to all claims, demands, costs and expenses in respect to the development of the Lands as set out in this Agreement.

IN WITNESS WHEREOF the Owner has hereunto set its hand and seal and the Town has hereunto affixed its corporate seal under the hands of its Mayor and Clerk.

STINNISSEN ENTERPRISES LIMITED

Per: _____
Andrew Stinnissen

(I have authority to bind the Corporation.)

THE CORPORATION OF THE TOWN OF ST. MARYS

Per: _____
Mayor: Al Strathdee

Per: _____
CAO/Clerk: Brent Kittmer

(We have the authority to bind the Corporation.)

NOTES TO SPA

1. It is the Owner's responsibility to fulfill the obligations contained in this Site Plan Agreement. It is also the Owner's responsibility to submit a request for the refund of deposits in writing when all of the work has been completed to the standards of this Site Plan Agreement.
2. The Owner shall enter into a separate agreement for electricity with Festival Hydro Inc., 1887 Erie Street, PO Box 397, Stratford ON N5A 6T5, 519-273-4703.
3. Any sign erected on the subject property shall be in conformity with the Town's current sign by-law. The owner shall apply for a separate sign permit.

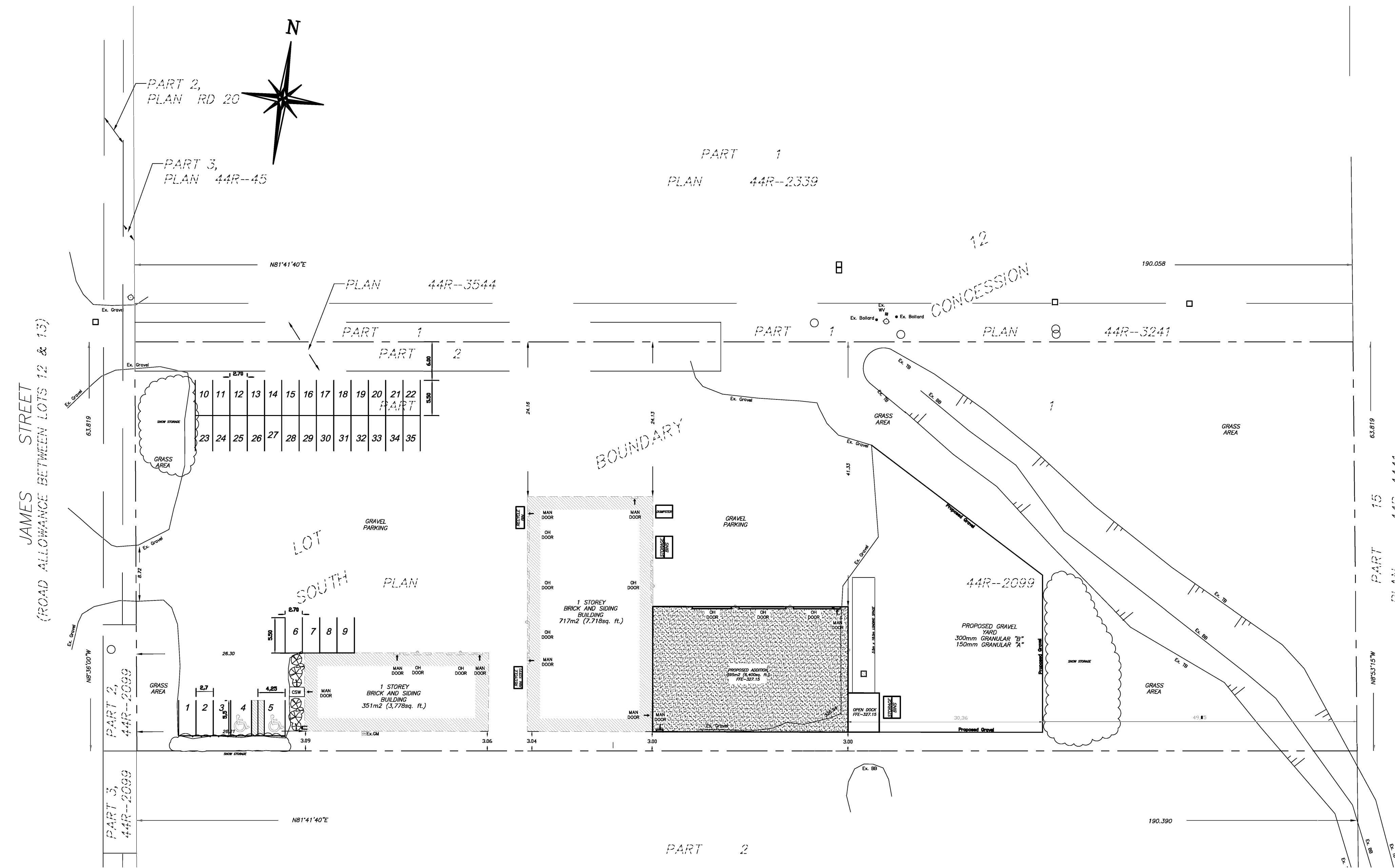
Schedule "A"

Attach Drawings 1, 2, 3, 4, 5 and 6.

SCHEDULE "A" DRAWING 1

SITE DEVELOPMENT DATA CHART
PROPOSED USE: GENERAL INDUSTRIAL - 20.0 M2 ZONING (Amended By-Law # Z107-2014)

Detail	Proposed	Existing	Total	Req'd by ZBL
20.2.1 Lot Area	12,140 m ²	12,140 m ²	12,140 m ²	1,350 m ² -MINIMUM
20.2.2 Lot Frontage	nc	63.82m		30.0m -MINIMUM
20.2.3 Lot Depth	nc	190.05m		45.0m -MINIMUM
20.2.4 Front Yard	26.30m	26.30m		15.0m -MINIMUM
20.2.5 Interior Side Yard	2.95m	3.0m		3.0m -MINIMUM
20.2.6 Exterior Side Yard		24.13m	nc	15.0m -MINIMUM
20.2.7 Rear Yard		74.53m	nc	7.5m -MINIMUM
20.2.8 Building Height	5.20m	5.20m	nc	20.0m -MAXIMUM
20.2.9 Lot Coverage	60.0%	51.3%	60.0%	60% -MAXIMUM
20.2.10 Loading and Unloading Requirements	In accordance to Section 5.12			
5.12.1 - Number of Loading Spaces	XX	n/c		(0.050 sq. m to 4000 sq. m = 1 Loading Space) in the interior and yard in the front yard 18.0m x 3.0m with vertical clearance of 4.20m
5.12.2 - Loading Space Location				
5.12.3 - Loading Space Size				
20.2.11 Parking Requirements	In accordance to Section 5.21			
	Minimum requirement = 1.25 for every employee on the largest shift, including office staff 20 x 1.25 = 25 spaces required			
	No. Parking Spaces			35
20.2.12 Planting Strip Requirement	In accordance to Section 5.25			
20.2.13 Landscaped Open Space	40.0%	48.7%	40.0%	20% -MINIMUM
20.2.14 Outdoor Storage	In accordance to Section 5.19			
20.2.15 Outdoor Display and Sales Area	In accordance to Section 5.20			
20.2.16 Property abutting Railway	n/a			
20.2.17 Fuel Pump, Canopy & Storage Tank Location	In accordance to Section 20.2.17			
20.2.18 Driveway Requirements	In accordance to Section 20.2.18			
20.3 Requirements for Accessory uses, In Buildings, Structures	In accordance to Sections 3.1 and 5.1			



KEY PLAN:

- NOTES**
- DO NOT SCALE FROM THIS DRAWING
 - ALL DIMENSIONS ARE TO BE CHECKED ON SITE
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

- LEGEND**
- TYPICAL LEGEND**
- 347.20+ EXIST. ELEVATION
 - 347.20x EXIST. & DESIGN ELEVATION
 - 347.20x DESIGN ELEVATION
 - EXISTING MANHOLE (STM, SAN)
 - EXISTING CATCH BASIN
 - FLOW DIRECTION OF SURFACE WATER IN A SWALE
 - FLOW DIRECTION OF SURFACE WATER
 - PROPOSED CATCH BASIN
 - ⊕ EXISTING WATER VALVE
 - ⊕ EXISTING HYDRANT

No.	DATE	NAME	DESCRIPTION
1	Feb. 22, 2018	RHP	BLDG. SET SIDE YARD SET BACK TO 3.0m

REVISIONS

JOHNSON
ENGINEERING CONSULTANTS
STRUCTURAL - CIVIL - MUNICIPAL

368 HURON STREET,
STRATFORD, ONTARIO
N5A 3T5 FAX (519) 271-5353
http://www.jecinc.on.ca

(519) 271-9923
jecinc@jecinc.on.ca

CLIENT:

STINNISSSEN ENTERPRISES LTD
515 JAMES STREET,
ST MARYS, ONTARIO

AUTHORITY:

TOWN OF ST. MARYS
175 QUEEN STREET EAST,
MAIL: P.O BOX 998,
ST. MARYS, ON.
N4X 1B6

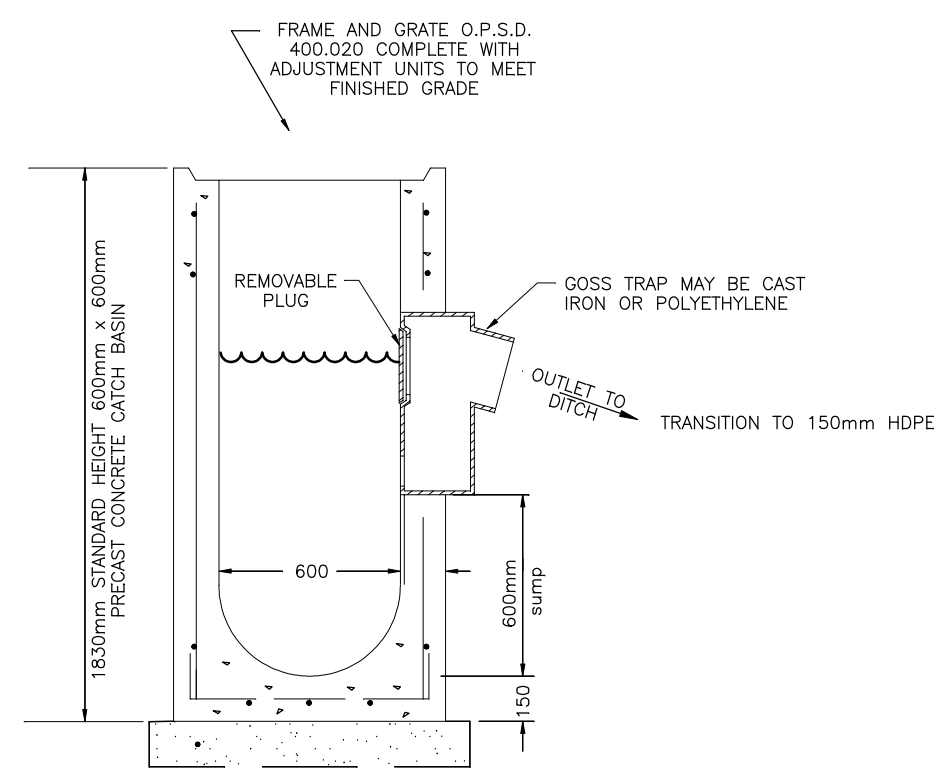
PROJECT:

EASY LIFT DOORS LTD 2018 EXPANSION

DRAWING TITLE:

2018 SITE PLAN

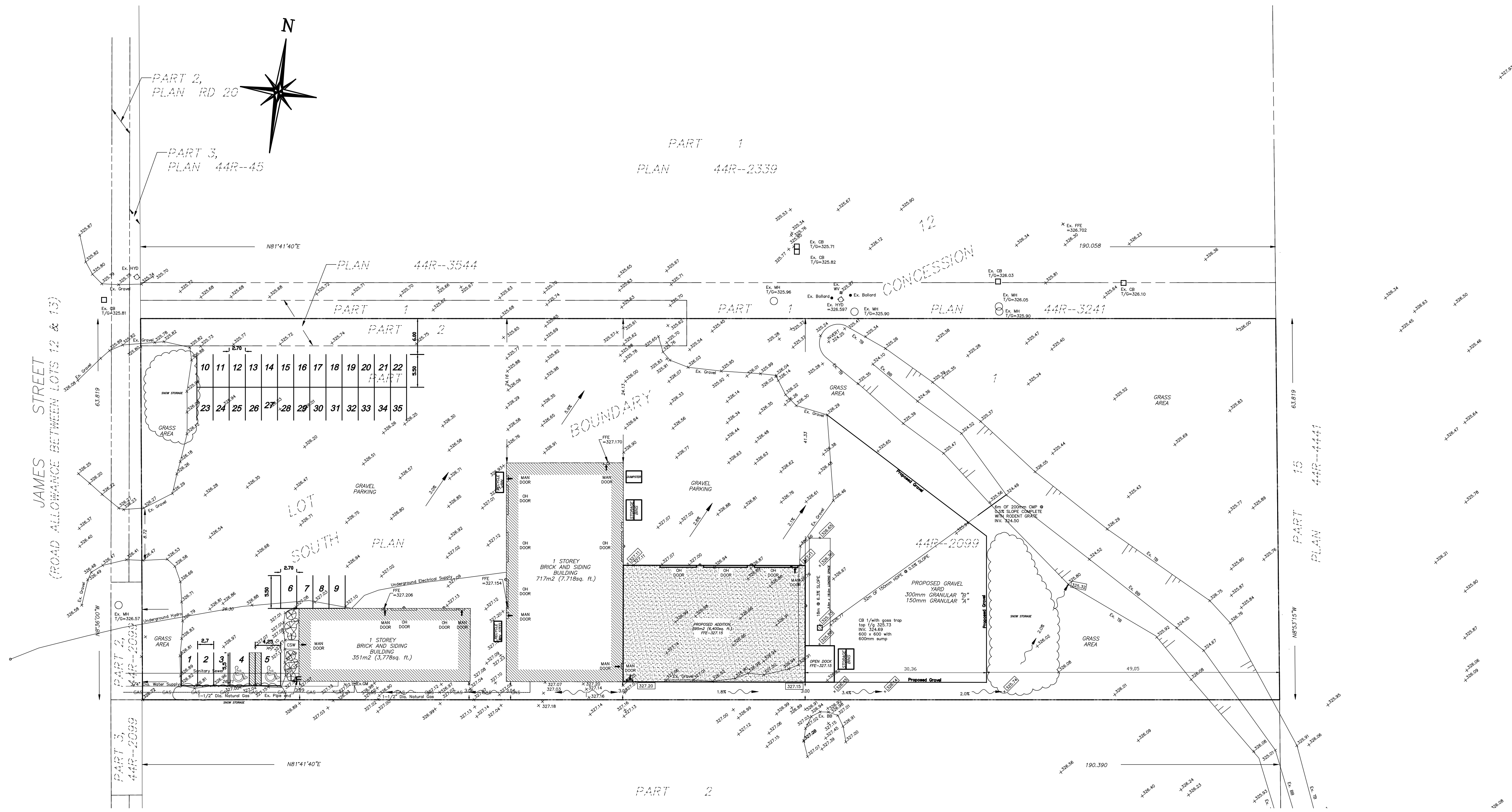
SCALE:	1:400	APPROVED BY:	
DATE:	FEBRUARY 14, 2018	DESIGNED BY:	
DESIGNED BY:	KdH	DRAWN BY:	
DRAWN BY:	KdH	J.E.C. FILING No.:	
J.E.C. FILING No.:	20060048		



CATCH BASIN #1 - GOSS TRAP DETAIL

CONCRETE PRECAST SUPPLIER TO PROVIDE SHOP DRAWING TO ACCOMMODATE STYLE OF GOSS TRAP INSERTED PRIOR TO INSTALLATION.

SCHEDULE "A" DRAWING 2



KEYPLAN

NOTES

- DO NOT SCALE FROM THIS DRAWING
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LEGEND

TYPICAL LEGEND

- 347.20* EXIST. ELEVATION
- 347.20* EXIST. & DESIGN ELEVATION
- 347.20* DESIGN ELEVATION
- EXISTING MANHOLE (STM, SAN)
- EXISTING CATCH BASIN
- FLOW DIRECTION OF SURFACE WATER IN A SWALE
- FLOW DIRECTION OF SURFACE WATER
- PROPOSED CATCH BASIN
- ⋈ EXISTING WATER VALVE
- ⊕ EXISTING HYDRANT

REVISIONS			
No.	DATE	NAME	DESCRIPTION
1	Feb. 22, 2018	RHP	BLDG. SET SIDE YARD SET BACK TO 3.0m

JOHNSON ENGINEERING CONSULTANTS
 STRUCTURAL - CIVIL - MUNICIPAL
 368 HURON STREET, STRATFORD, ONTARIO N5A 3T5 FAX (519) 271-0353
 (519) 271-9923
 http://www.jecinc.on.ca

CLIENT:
STINNISSEN ENTERPRISES LTD
 515 JAMES STREET,
 ST MARYS, ONTARIO

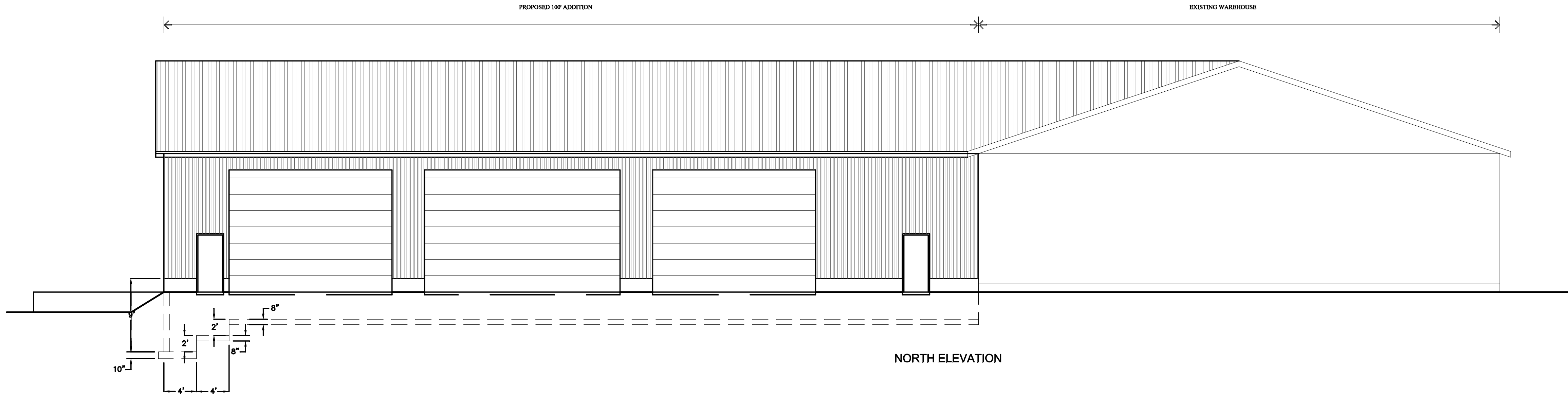
AUTHORITY:
TOWN OF ST. MARYS
 175 QUEEN STREET EAST,
 MAIL: P.O BOX 998,
 ST. MARYS, ON.
 N4X 1B6

PROJECT:
EASY LIFT DOORS LTD 2018 EXPANSION

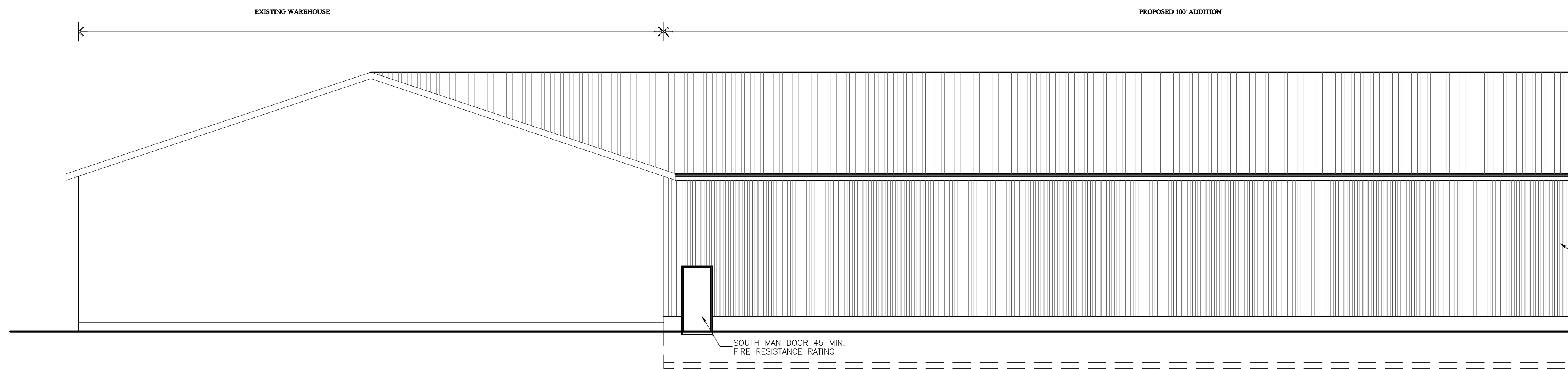
DRAWING TITLE:
2018 GRADING PLAN

SCALE:	1:400	APPROVED BY:	
DATE:	FEBRUARY 14, 2018	DESIGNED BY:	
DESIGNED BY:	KdH	DRAWN BY:	
DRAWN BY:	KdH	J.E.C. FILE NO.:	
J.E.C. FILE NO.:	20060048	PROJECT:	

SCHEDULE "A" DRAWING 3



NORTH ELEVATION



SOUTH ELEVATION

KEYPLAN

NOTES

- DO NOT SCALE FROM THIS DRAWING
- ALL DIMENSIONS ARE TO BE CHECKED ON SITE
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS

LEGEND

No.	DATE	NAME	DESCRIPTION
1	21/02/2018	KdH	OBC reference/East Fnd.

REVISIONS

JOHNSON
ENGINEERING
CONSULTANTS
 STRUCTURAL — CIVIL — MUNICIPAL
 STRATFORD
 368 HURON STREET, STRATFORD, ONTARIO L5A 5T5 FAX (519) 271-5353
 http://www.jecinc.on.ca (519) 271-9923
 jecinc@jecinc.on.ca

CLIENT:
STINNISSON ENTERPRISES LTD
 515 JAMES STREET,
 ST MARYS, ONTARIO

AUTHORITY:
TOWN OF ST. MARYS
 175 QUEEN STREET EAST,
 MAIL: P.O BOX 998,
 ST. MARYS, ON.
 N4X 1B6

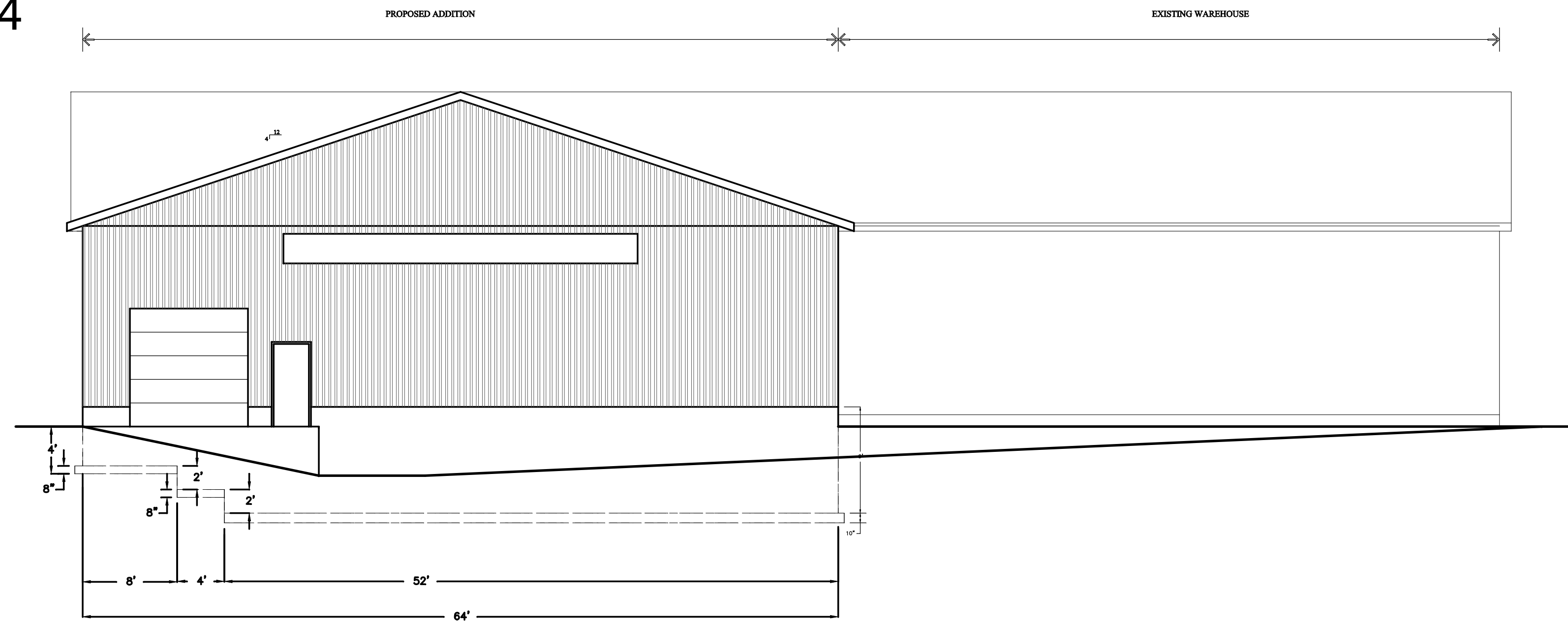
PROJECT:
EASY LIFT DOORS LTD 2018 EXPANSION

DRAWING TITLE:
ELEVATIONS

SCALE: 1/8" = 1'-0"	APPROVED BY:
DATE: FEBRUARY 14, 2018	
DESIGNED BY: KdH	
DRAWN BY: KdH	
J.E.C. FILING No: 20060048	
FILING LOCATION: www.easyliftdoors.com	

DWG. No. **S1** SHEET No. **1 OF 4**

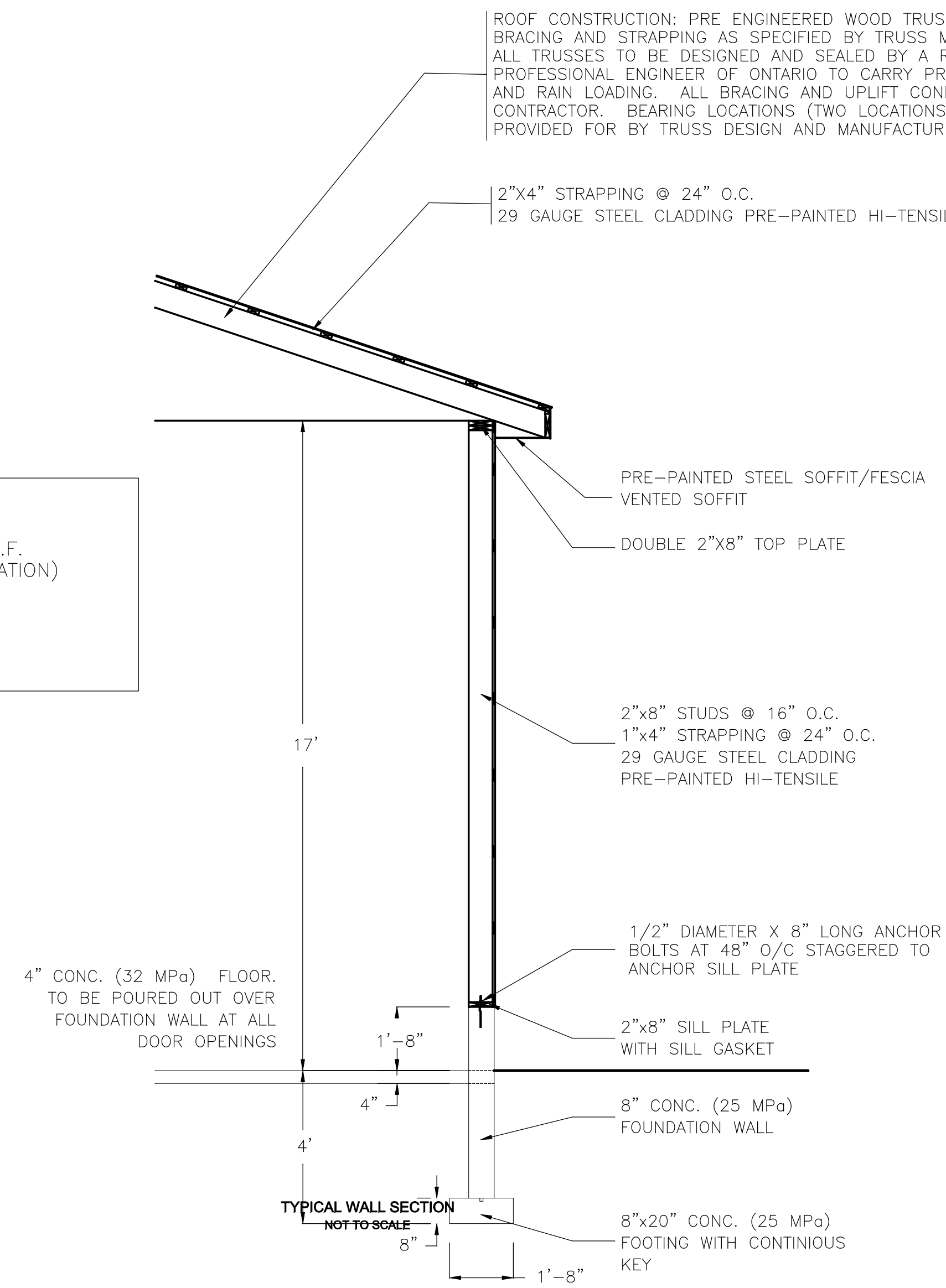
SCHEDULE "A" DRAWING 4



EAST ELEVATION
SCALE: 1/8" = 1'-0"

Firm Name: Johnson Engineering Consultants 368 Huron Street Stratford, ON, N5A 5T5 Name of Project: Warehouse Addition Location: XX James Street South St. Marys, Ontario																																																																									
Ontario's 2006 Building Code Data Matrix Part 3																																																																									
OBC Reference <small>References are to Division B unless noted [A] for Division A or [C] for Division C</small>																																																																									
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION																																																																								
2	MAJOR OCCUPANCY(S): GROUP F-3 3.1.2.1.(1)																																																																								
3	BUILDING AREA(m ²)/EXISTING: 713.5 NEW: 594.6 TOTAL: 1308.1 m ² 1.4.1.2[A]																																																																								
4	GROSS AREA(m ²)/EXISTING: 713.5 NEW: 594.6 TOTAL: 1308.1 m ² 1.4.1.2[A]																																																																								
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0 1.4.1.2[A] & 3.2.1.1																																																																								
6	NUMBER OF STREETS/ACCESS ROUTES: 1 3.2.2.10 & 3.2.5																																																																								
7	BUILDING CLASSIFICATION: GROUP F 3.2.2.78																																																																								
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED 3.2.2.78 3.2.1.5 3.2.2.17 INDEX																																																																								
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.9.1																																																																								
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.4.1																																																																								
11	WATER SERVICE/SUPPLY IS ADEQUATE <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.5.7																																																																								
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.6.1																																																																								
13	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH 3.2.2.78																																																																								
14	MEZZANINE(S) AREA(m ²)/EXISTING AREA: 0.0/NEW AREA: 0.0 m ² N/A																																																																								
15	OCCUPANT LOAD BASED ON: m ² /PERSON - SEE BELOW 1ST FLOOR OCCUPANCY: _____ 3.1.17.1. 3.7.4.9.																																																																								
16	BARRIER FREE DESIGN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) 3.6.1.1.(c)																																																																								
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.3.1.2. & 3.3.1.19																																																																								
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24	CONCEALED SPACE (FLOOR OR CEILING) USED AS A PLENUM <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																																																																								

DESIGN LOADING O.B.C. ST. MARYS
 TOP CHORD LIVE LOAD
 (45.95 x 0.8) + (RAIN LOAD) = 36.76 + 8.4 = 45.16 P.S.F.
 BOTTOM CHORD LIVE 10.0 P.S.F. (SHORT TERM DURATION)
 TOP CHORD DEAD 4.0 P.S.F.
 BOTTOM CHORD DEAD 7.0 P.S.F.
 SLIPPERY ROOF FACTOR NOT APPLICABLE
 WINDSWEEP CONDITION NOT APPLICABLE



ROOF CONSTRUCTION: PRE ENGINEERED WOOD TRUSSES WITH SPACING, BRACING AND STRAPPING AS SPECIFIED BY TRUSS MANUFACTURER. ALL TRUSSES TO BE DESIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER OF ONTARIO TO CARRY PROPER WIND, SNOW AND RAIN LOADING. ALL BRACING AND UPLIFT CONNECTIONS BY CONTRACTOR. BEARING LOCATIONS (TWO LOCATIONS) ARE TO BE PROVIDED FOR BY TRUSS DESIGN AND MANUFACTURER.

2"x4" STRAPPING @ 24" O.C.
 29 GAUGE STEEL CLADDING PRE-PAINTED HI-TENSILE

PRE-PAINTED STEEL SOFFIT/FESCIA
 VENTED SOFFIT
 DOUBLE 2"x8" TOP PLATE

2"x8" STUDS @ 16" O.C.
 1"x4" STRAPPING @ 24" O.C.
 29 GAUGE STEEL CLADDING
 PRE-PAINTED HI-TENSILE

1/2" DIAMETER X 8" LONG ANCHOR BOLTS AT 48" O/C STAGGERED TO ANCHOR SILL PLATE

2"x8" SILL PLATE WITH SILL GASKET

8" CONC. (25 MPa) FOUNDATION WALL

8"x20" CONC. (25 MPa) FOOTING WITH CONTINUOUS KEY

4" CONC. (32 MPa) FLOOR. TO BE POURED OUT OVER FOUNDATION WALL AT ALL DOOR OPENINGS



- NOTES**
- DO NOT SCALE FROM THIS DRAWING
 - ALL DIMENSIONS ARE TO BE CHECKED ON SITE
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS

LEGEND

No.	DATE	NAME	DESCRIPTION
1	21/02/2018	KdH	OBC reference/East Fnd.

REVISIONS

JOHNSON
ENGINEERING CONSULTANTS
 STRUCTURAL - CIVIL - MUNICIPAL
 STRATFORD
 368 HURON STREET, STRATFORD, ONTARIO N5A 5T5 FAX (519) 271-5303
 http://www.jecinc.on.ca (519) 271-9923
 jecinc@jecinc.on.ca

CLIENT:
STINNISSON ENTERPRISES LTD
 515 JAMES STREET,
 ST MARYS, ONTARIO

AUTHORITY:
TOWN OF ST. MARYS
 175 QUEEN STREET EAST,
 MAIL: P.O BOX 998,
 ST. MARYS, ON.
 N4X 1B6

PROJECT:
EASY LIFT DOORS LTD 2018 EXPANSION

DRAWING TITLE:
ELEVATION/WALL SECTION/ CODE MATRIX

SCALE: AS SHOWN	APPROVED BY:
DATE: FEBRUARY 14, 2018	
DESIGNED BY: KdH	
DRAWN BY: KdH	
J.E.C. FILING No: 20060048	
FILING LOCATION: www.easyliftdoors.com	

SCHEDULE "A" DRAWING 5

NOTES:

GENERAL NOTES & SPECIFICATIONS

ALL DIMENSIONS SHALL BE VERIFIED AT THE SITE.
 READ ALL OF THE PROJECT DRAWINGS AND SPECIFICATIONS (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.) BEFORE CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER PROMPTLY.
 REMOVE EXISTING DRAWINGS FROM THE SITE UPON RECEIPT OF REVISIONS.
 INFORM THE ENGINEER A MINIMUM OF 24 HOURS PRIOR TO ANY REQUIRED INSPECTIONS. (E.G. SOIL VERIFICATION, REBAR, STRUCTURAL STEEL & CONNECTIONS, ETC.)

DESIGN SPECIFICATIONS

ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE ONTARIO BUILDING CODE AND ANY GOVERNING C.S.A. STANDARDS, INCLUDING BUT NOT LIMITED TO:
 CSA CAN3-A23.3-M94 "DESIGN OF CONCRETE STRUCTURES"
 CSA CAN3-S16.1-M89 "LIMIT STATES DESIGN OF STEEL STRUCTURES"
 CSA CAN3-S304.1-M84 "MASONRY DESIGN FOR BUILDINGS"
 CSA CAN3-086-M89 "ENGINEERING DESIGN IN WOOD"
 THE DESIGN LOADS USED ARE:
 FLOOR LIVE LOAD 4.8 KPA 100 PSF
 FLOOR DEAD LOAD 0.75 KPA 16 PSF
 FLOOR PARTITION LOAD 1.0 KPA 21 PSF
 ROOF SNOW LOAD 2.2 (0.8) + 0.4 = 2.2 KPA 46 PSF
 ROOF DEAD LOAD 0.75 KPA 16 PSF
 WIND LOAD (1/20) 0.47 KPA 9.82 PSF
 MECHANICAL LOAD NO MECHANICAL LOAD ALLOWED
 DO NOT EXCEED THE DESIGN LOADS DURING CONSTRUCTION.
 ANTICIPATED MAXIMUM LIVE LOAD DEFLECTION OF STRUCTURAL MEMBERS IS 1/360 OF THE SPAN OR LESS, UNLESS NOTED. ARCHITECTURAL DETAILS SHALL ACCOMMODATE THESE POSSIBLE DEFLECTIONS PARTICULARLY AT WINDOWS AND EXTERIOR DOORS. NON-LOADBEARING WALLS MUST NOT BE BUILT TIGHT TO THE UNDERSIDE OF STRUCTURAL MEMBERS. PROVIDE OTHER MECHANICAL MEANS FOR THE LATERAL SUPPORT AT THE TOP OF THE WALL ALLOWING FOR STRUCTURAL DEFLECTIONS UP TO 1/2".
 THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL THE CONSTRUCTION IS COMPLETE. THE CONTRACTOR MUST TAKE FULL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THIS TEMPORARY BRACING.
 DESIGN ASSUMPTIONS:
 SOIL BEARING CAPACITY 146.36 KPA 3000 PSF
 SLABS ON GRADE, STRUCTURAL SLABS ON GRADE, RETAINING WALLS, AND BASEMENT WALLS HAVE BEEN DESIGNED WITH THE ASSUMPTION THAT DRAIN TILES HAVE BEEN PROVIDED TO RELIEVE HYDROSTATIC PRESSURES BEHIND THE WALLS AND BELOW THE SLABS.
 PROPOSED WAREHOUSE FACING 1 STREET (FIRE ACCESS ROUTE ON NORTH PROPERTY LINE)
 NO ATTIC SPACE
 PLUMBING DESIGN BY OTHERS

FOUNDATION NOTES

THE ASSUMED SOIL BEARING CAPACITY OF 143.6 KPA (3000 PSF) IS TO BE VERIFIED IN WRITING BY THE ENGINEER BEFORE POURING THE FOOTING.
 REMOVE ALL TOPSOIL, ORGANIC, AND LOOSE FILL MATERIAL FROM THE BUILDING AREA BEFORE STARTING CONSTRUCTION AND REPLACE WITH MATERIAL APPROVED BY THE ENGINEER AND COMPACTED TO HIS APPROVAL.
 DO NOT EXCAVATE LOWER THAN ADJACENT FOOTINGS. A MAXIMUM SLOPE OF ONE VERTICAL TO TWO HORIZONTAL MUST REMAIN BETWEEN THE FACE OF THE FOOTING AND THE BOTTOM OF ANY EXCAVATION.
 THE DESIGN AND CONSTRUCTION OF THE SHORING OF EXCAVATION AND THE UNDERPINNING OF ADJACENT STRUCTURES, WHERE REQUIRED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND DETAILS ARE NOT SHOWN ON THE DRAWINGS. PROVIDE COMPLETE DRAWINGS, SIGNED AND SEALED BY AN ENGINEER, WHO MUST MAKE PERIODIC SITE VISITS TO VERIFY THAT THE WORK IS BEING CARRIED OUT STRICTLY IN ACCORDANCE WITH HIS PLANS AND PROVIDE WRITTEN REPORTS TO THIS OFFICE.
 SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF PIPES, CONDUITS, AND DUCTS. TRENCHES SHALL BE EXCAVATED, BACKFILLED, AND COMPACTED TO THE ENGINEER'S APPROVAL.
 PLACE 1/2" WATERPROOF FIBREBOARD OR APPROVED EQUAL BETWEEN ANY EXISTING AND NEW CONSTRUCTION.
 FOUND ALL EXTERIOR FOOTINGS A MINIMUM OF 4"-0" BELOW FINAL GRADE, OR ON BEDROCK THAT IS DESIGNATED AS "UNAFFECTED BY FROST" BY THE ENGINEER.
 PROTECT THE SOIL BELOW AND ADJACENT TO FOOTINGS FROM FREEZING AND MOISTURE BEFORE AND AFTER POURING.
 BASEMENT WALLS SHALL NOT BE POURED IN LENGTHS LONGER THAN 120 FT. WITHOUT A VERTICAL CONSTRUCTION JOINT, UNLESS APPROVED OTHERWISE BY THE ENGINEER.
 FOUNDATION WALLS, BASEMENT WALLS AND RETAINING WALLS MUST BE BACKFILLED WITH CLEAN, FREE DRAINING GRANULAR MATERIAL, TO THE ENGINEER'S APPROVAL.
 ALL BACKFILL SHALL BE PLACED CAREFULLY AGAINST FOUNDATION WALLS. UNLESS A BASEMENT IS TO BE CONSTRUCTED, ALL BACKFILL SHALL BE PLACED SIMULTANEOUSLY AGAINST BOTH SIDES OF FOUNDATION WALLS. AT NO TIME SHALL THE DIFFERENCE IN ELEVATION BE GREATER THAN 2".
 DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL THE FLOOR AT THE TOP AND BOTTOM OF THE WALL IS CONSTRUCTED.
 DO NOT BACKFILL ON THE HIGH SIDE OF RETAINING WALLS UNTIL THE LOW SIDE IS BACKFILLED.

CONCRETE NOTES

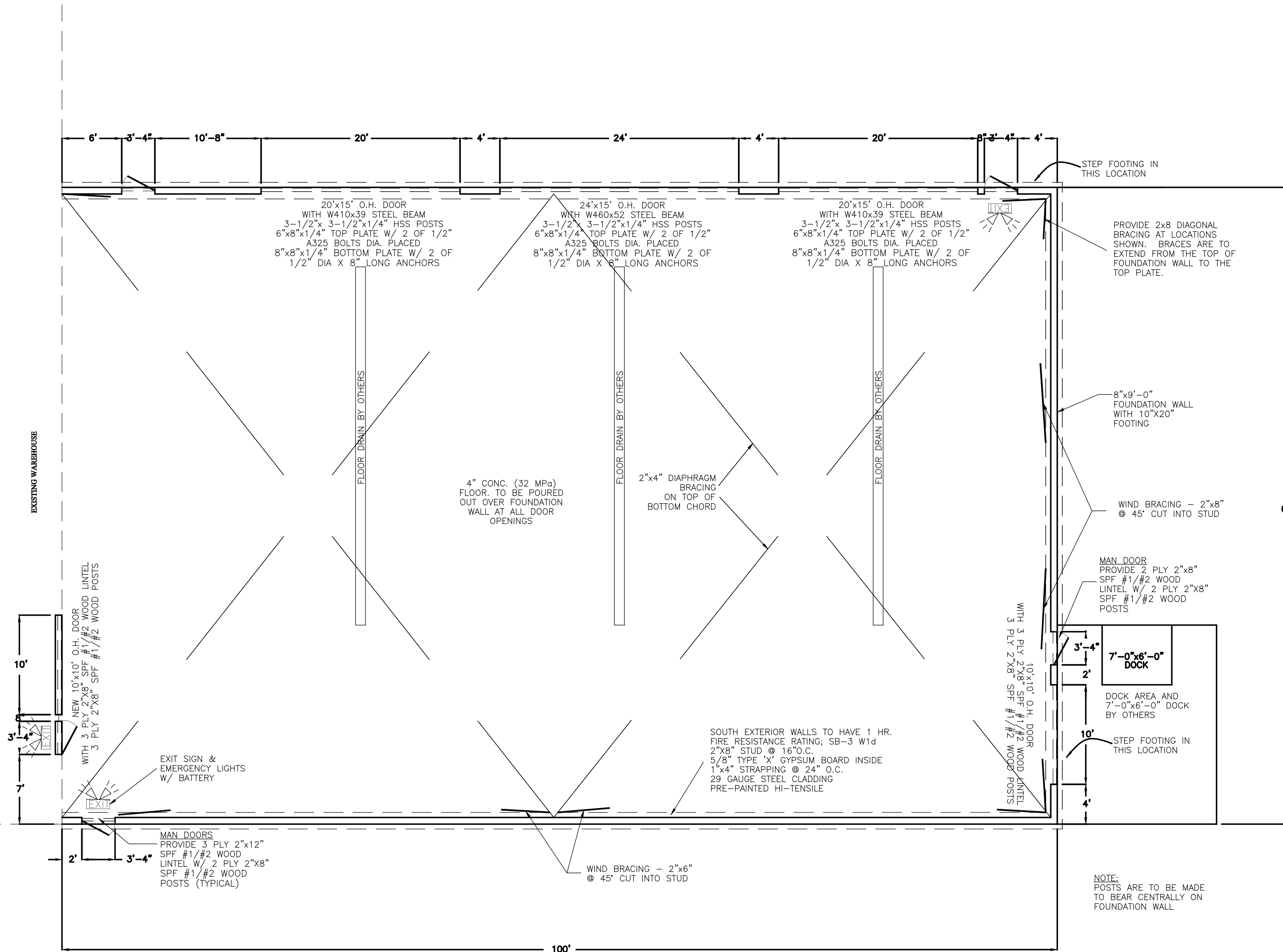
ALL CONCRETE MATERIALS, PROCEDURES, TOLERANCES, AND WORKMANSHIP SHALL CONFORM WITH THE LATEST ISSUE OF CAN3-A23.1 AND A23.2. A COPY OF THESE STANDARDS SHALL BE AVAILABLE ON SITE.
 REINFORCING DETAILING SHALL CONFORM TO CAN3-A23.3 REQUIREMENTS. SUBMIT SHOP DRAWINGS FOR REINFORCING STEEL DETAILING TO THE ENGINEER FOR APPROVAL. DO NOT FABRICATE REINFORCING PRIOR TO HIS WRITTEN APPROVAL.
 ALL REINFORCING SHALL BE 300 MPa (FY = 400MPa) EXCEPT TIES AND STIRRUPS WHICH SHALL BE FY = 350MPa. USE ONLY CANADIAN MANUFACTURED STEEL. UNDER NO CIRCUMSTANCES MAY REINFORCING STEEL BE CUT ON SITE. WHEN INTERFERENCES OCCUR, OBTAIN WRITTEN INSTRUCTION FROM THE ENGINEER.
 SOIL CONDITIONS, REINFORCING STEEL, AND FORMWORK SHALL BE INSPECTED BY THE ENGINEER BEFORE POURING CONCRETE. THE CONTRACTOR WILL GIVE THE ENGINEER A MINIMUM OF 24 HOURS NOTICE TO CARRY OUT THIS INSPECTION.
 A CONCRETE POUR MAY COMMENCE AFTER ALL REINFORCING STEEL REQUIRED FOR THE POUR IS PLACED AND SECURELY TIED IN ITS PROPER POSITION AND APPROVED BY THE ENGINEER OR HIS REPRESENTATIVE IN WRITING.
 THE REQUIRED CONCRETE STRENGTH AT 28 DAYS IS TO BE:
 SLABS ON GRADE F'C = 25 MPA
 INTERIOR COLUMNS AND WALLS F'C = 25 MPA
 EXTERIOR WALLS F'C = 25 MPA
 FOUNDATIONS & FOOTINGS F'C = 25 MPA
 USE CONCRETE WITH A MAXIMUM 3" SLUMP AND 3/4" AGGREGATE UNLESS NOTED. USE 5 - 7% AIR ENTRAINMENT IN CONCRETE EXPOSED TO MOISTURE AND 3-5% AIR ENTRAINMENT IN OTHER LOCATIONS.
 CONCRETE THAT HAS BEEN IN THE READY MIX TRUCK LONGER THAN 1 1/2 HOURS SHALL BE REJECTED.
 NO WATER IS TO BE ADDED TO THE CONCRETE ON THE SITE OR TO THE CONCRETE IN THE TRUCK UNDER ANY CIRCUMSTANCES.
 NO FLY ASH OR CALCIUM IS TO BE USED IN CONCRETE UNLESS WRITTEN APPROVAL HAS BEEN GIVEN BY THE ENGINEER PRIOR TO CONSTRUCTION.
 THE MINIMUM COVER TO REINFORCING SHALL BE:
 CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OR WEATHER:
 BARS LARGER THAN NO. 15: 25 mm
 BARS NO. 15 AND SMALLER: 19 mm
 CONCRETE NOT EXPOSED:
 SLABS: 19 mm
 WALLS: 19 mm
 BEAMS AND COLUMNS TO TIES: 13 mm
 CONCRETE POURED AGAINST SOIL OR ROCK: 3"
 PROVIDE A MINIMUM OF 2 - 15M REBAR AROUND ALL OPENINGS. EXTEND EACH BAR A MINIMUM OF 600 MM PAST THE EDGE OF THE OPENING. ALSO PROVIDE 1 - 15 M X 600 MM LONG REBAR DIAGONALLY AT EACH CORNER.
 PROVIDE 3/16" BENT PLATE OR STEEL ANGLES AROUND ALL OPENING PERIMETERS.
 PROVIDE SLEEVES IN SLABS FOR ALL PIPES AND PENETRATIONS. DO NOT PLACE SLEEVES IN BEAMS, WALLS, OR COLUMNS WITHOUT PRIOR APPROVAL OF THE ENGINEER UNLESS SHOWN ON THE PLANS.
 CONCRETE FINISHES MUST BE SUITABLE TO RECEIVE THE APPLIED FINISHES AS SHOWN ON THE DRAWINGS.
 CONCRETE SLABS MUST NOT BE POURED UNTIL A MINIMUM OF 24 HOURS AFTER POURING ITS SUPPORTING COLUMNS AND WALLS.
 CONCRETE SLABS ARE TO BE SAW CUT IN PANELS CENTRED ON THE COLUMN LINES WITHIN 16 HOURS AFTER POURING THE CONCRETE TO REDUCE NORMAL STRESSES AND SHRINKAGE CRACKING. THE PANELS ARE NOT TO EXCEED 225 SQ. FT. OR 15'-0" IN ANY DIRECTION. SAW CUTS ARE TO BE 1/8" X 1 1/2" JOINTS.
 CONCRETE WALLS SHALL HAVE CONTROL JOINTS CONSTRUCTED AT 20'-0" ON CENTRE AND SHALL START AT A DISTANCE OF 2'-0" FROM EACH CORNER WITH 4'-0" LONG 10M REINFORCING BARS AT 16" ON CENTRE.
 SLAB ON GRADE
 PROVIDE 6" OF GRANULAR 'A' BELOW SLABS ON GRADE AND COMPACT TO 98% SPD.
 SLABS ON GRADE ARE TO BE 6" THICK AND REINFORCED WITH 6X6X6/6 WELDED WIRE MESH PLACED 2" BELOW THE TOP OF THE SLAB.
 THE MAXIMUM ALLOWABLE LIVE LOAD FOR SLABS ON GRADE IS 300 P.S.F. OR A 5,000 LB POINT LOAD.
 ALL MESH IN SLABS MUST BE SUPPLIED IN SHEETS. FIBRE CONTENT IN SLABS ON GRADE SHALL BE 1 KG/CU M FOR POLYPROPYLENE OR 10 KG/CU M FOR METALLIC FIBRES.
 FALSEWORK AND FORMWORK
 THE DESIGN AND CONSTRUCTION OF THE FALSEWORK AND FORMWORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND DETAILS ARE NOT SHOWN ON THE DRAWINGS. PROVIDE COMPLETE DRAWINGS, SIGNED AND SEALED BY AN ENGINEER, WHO MUST MAKE PERIODIC SITE VISITS TO VERIFY THAT THE WORK IS BEING CARRIED OUT STRICTLY IN ACCORDANCE WITH HIS PLANS AND PROVIDE WRITTEN REPORTS TO THIS OFFICE.
 CAMBER THE FORMWORK TO ALLOW FOR NORMAL ANTICIPATED DEAD LOAD DEFLECTIONS (1" AT MID SPAN UNLESS NOTED).
 THE CONTRACTOR MUST PROVIDE A SURVEY OF THE LEVELS OF THE FLOORS AT THE CENTRE OF THE SPAN AND AT EACH SURROUNDING CORNER. THESE LEVELS MUST BE PROVIDED TO THE ENGINEER IMMEDIATELY TO ASSESS THE CAMBERS PROVIDED AND THE STRUCTURAL DEFLECTIONS. THE LEVEL SHALL CLEARLY DEFINE THE FOLLOWING:
 THE LEVEL OF THE FORMWORK IMMEDIATELY BEFORE POURING
 THE LEVEL OF THE TOP OF THE SLAB IMMEDIATELY AFTER POURING
 THE LEVEL OF THE TOP OF THE SLAB 28 DAYS AFTER REMOVING ALL OF THE FALSEWORK AND SHORING
 THE LEVEL OF THE TOP OF THE SLAB 28 DAYS AFTER REMOVING ALL OF THE FALSEWORK AND FORMWORK.
 FOR EXPOSED CONCRETE:
 USE NEW PLYWOOD ONLY
 THE EXACT LOCATION OF ALL JOINTS AND FORM TIES SHALL BE APPROVED BY THE ENGINEER. NO REINFORCING OR FORM TIES SHALL BE LESS THAN 1 1/2" FROM ANY EXPOSED FACE.
 DO NOT STRIP ANY SLABS OR BEAMS SOFFITS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
 MINIMUM REQUIREMENTS FOR COLD WEATHER CONCRETE: LOW-RISE BUILDINGS
 THESE REQUIREMENTS ARE APPLICABLE WHEN THE AIR TEMPERATURE FALLS BELOW 5° C.
 A MAXIMUM OF 2% CALCIUM CHLORIDE MAY BE ADDED TO THE CONCRETE IN THE PLANT.
 CONCRETE WHEN PLACED IN THE FORMS, SHALL HAVE A MINIMUM TEMPERATURE OF 20° C AND A MAXIMUM OF 25° C. CONCRETE DELIVERED TO THE SITE BELOW 20° C MUST BE REJECTED BY THE JOB SUPERINTENDENT OR HIS REPRESENTATIVE.
 THE ENCLOSURE SURROUNDING THE WALLS AND PLASTERERS, SHALL BE MAINTAINED TO 25° C TO 27° C CONTINUOUSLY FOR A MINIMUM OF 3 DAYS. THIS TEMPERATURE MUST BE CHECKED AT 2 HOUR INTERVALS, BY MEANS OF A THERMOMETER PLACED AT THE CEILING OF THE ENCLOSURE. KEEP THE CONCRETE COVERED FOR A MINIMUM OF 7 DAYS AFTER PLACING, BY MAINTAINING A TEMPERATURE OF 10° C IN THE ENCLOSURE.
 USE COMPRESSED AIR TO CLEAR THE ICE OR SNOW FROM FORMS OR STEEL. DO NOT USE CALCIUM CHLORIDE FOR CLEARING ICE AND SNOW.
 CHECK THE WEATHER FORECAST DAILY IN ORDER TO ANTICIPATE HEATING AND PROTECTION REQUIREMENTS.

STRUCTURAL STEEL NOTES

THE FABRICATION & ERECTION OF STRUCTURAL STEEL MEMBERS TO BE IN ACCORDANCE WITH CSA CAN3-S16.1-M84 STEEL STRUCTURES FOR BUILDINGS.
 ALL STRUCTURAL STEEL SHALL BE G40.21-M 350W GRADE AND ALL H.S.S. MEMBERS SHALL BE G40.21-M 350W CLASS C UNLESS NOTED. HIGH TENSION BOLTS SHALL CONFORM TO ASTM A325 REQUIREMENTS.
 ALL ARC WELDING PROCEDURES SHALL CONFORM TO C.S.A. W59 AND ALL WELDERS SHALL BE QUALIFIED BY THE CANADIAN WELDING BUREAU.
 ALL WELDING ELECTRODES ARE TO HAVE E480XX CLASSIFICATION.
 USE COSB 1-GP 40D PRIMER COAT (FIELD TOUCH-UP) (OR 1-CPMA-73) TO ALL SURFACES WITH THE EXCEPTION OF THOSE SURFACES TO BE WELDED OR ENCASED IN CONCRETE.
 THE DESIGN AND CONSTRUCTION OF THE CONNECTION DETAILS, TEMPORARY BRACING, AND STEEL SPlicing IS THE RESPONSIBILITY OF THE CONTRACTOR AND DETAILS ARE NOT SHOWN ON THE DRAWINGS. PROVIDE COMPLETE DRAWINGS, SIGNED AND SEALED BY AN ENGINEER, WHO MUST MAKE PERIODIC SITE VISITS TO VERIFY THAT THE WORK IS BEING CARRIED OUT STRICTLY IN ACCORDANCE WITH HIS PLANS AND PROVIDE WRITTEN REPORTS TO THIS OFFICE.
 BEAM REACTIONS GREATER THAN 50% OF FULL MEMBER CAPACITY ARE INDICATED IN KIPS THUS (K) ON PLAN. SHEAR CONNECTIONS SHALL BE DESIGNED FOR THIS LOAD.
 CONNECTIONS ARE NOT SLIP-CRITICAL UNLESS NOTED.
 CONNECTIONS BETWEEN STRUCTURAL MEMBERS SHALL NOT INTERFERE WITH FINISHES.
 THE CONTRACTOR MAY SUBSTITUTE MATERIAL AND MEMBERS SUBJECT TO PRIOR APPROVAL OF THE ENGINEER. CALCULATIONS MUST BE PROVIDED TO JUSTIFY THE SUBSTITUTION.
 PROPOSED ERECTION PROCEDURES SHALL BE APPROVED BY THE ENGINEER.
 FIELD OR SHOP SPLICED BEAMS, COLUMNS, OR OTHER STRUCTURAL MEMBERS SHALL NOT BE USED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER, IN WRITING. THE WELDING FOR THESE SPLICES SHALL BE CHECKED AND APPROVED IN WRITING BY AN INSPECTION COMPANY.
 NO LOADS SHALL BE HUNG FROM JOISTS OR BEAMS WITHOUT PRIOR APPROVAL OF THE ENGINEER, UNLESS SHOWN ON THE DRAWINGS.
 INFORM ENGINEER AND/OR SITE INSPECTOR, IMMEDIATELY, OF ANY MEMBERS THAT DO NOT FIT, OR REQUIRE FORCE TO CONNECT, OR DEVIATE FROM C.S.A. TOLERANCES.
 CENTRE BASE PLATES BELOW BEAMS AND COLUMNS UNLESS NOTED.
 ALL BASE PLATES SHALL BE SET ON NON-SHRINK GROUT WITH A MINIMUM 28 DAYS STRENGTH OF 30MPa TO ENSURE A FULL BEARING.
 PROVIDE MASONRY ANCHORS (1" X 1/8" AT 24" ON CENTRE) WHERE COLUMNS ABUT MASONRY.
 PROVIDE PLATES FOR ATTACHMENT OF OVERHEAD DOOR MECHANISMS. SEE MANUFACTURER'S SPECIFICATION FOR DETAILS.
 STEEL CLADDING TO BE 1.42" X 0.018" VICWEST CL6025R ZINC COAT OR APPROVED EQUAL. MINIMUM 3 SPANS CONTINUOUS.
 PROVIDE HOLES FOR 1/2" DIAMETER BOLTS STAGGERED AT 2" ON CENTRE ON THE TOP FLANGE OF ALL STEEL BEAMS SUPPORTING WOODEN MEMBERS.

WOOD

ALL LUMBER IS TO BE SPRUCE-PINE-FIR NO. 1/2.
 ALL STUD WALL PLATES ARE TO BE ANCHORED TO THE CONCRETE WALL OR FLOOR WITH 1/2" Ø ANCHORS AT 4'-0" ON CENTRE.
 PROVIDE JOIST HANGERS FOR ALL JOISTS WHICH FRAME INTO THE SIDE OF BEAMS OR OTHER MEMBERS.
 PROVIDE 2" X 2" CROSS BRIDGING AT THE CENTRE OF ALL JOIST SPANS.
 ALL ROOF TRUSSES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CAN3-086-M84.
 THE DESIGN AND CONSTRUCTION OF THE WOOD TRUSSES IS THE RESPONSIBILITY OF THE CONTRACTOR AND DETAILS ARE NOT SHOWN ON THE DRAWINGS. PROVIDE COMPLETE DRAWINGS, SIGNED AND SEALED BY AN ENGINEER, WHO MUST MAKE PERIODIC SITE VISITS TO VERIFY THAT THE WORK IS BEING CARRIED OUT STRICTLY IN ACCORDANCE WITH HIS PLANS AND PROVIDE WRITTEN REPORTS TO THIS OFFICE.
 THE TRUSS FABRICATOR IS TO SUPPLY INFORMATION ON ALL TIES, HANGERS, AND CONNECTION BRACKETS WITH THE SHOP DRAWINGS.
 ALL TRUSSES SHALL BE CONNECTED TO THE BEARING WALL AND SUPPORTS WITH SIMPSON A35 ANCHORS OR EQUAL.
 TRUSS FABRICATOR SHALL DESIGN THE TRUSS BEARING SO AS NOT TO OVERLOAD THE BEARING CAPACITY OF WOOD AT THE TRUSS ENDS.
 ROOF TRUSSES ARE TO BE SET AND SECURED LEVEL AND PLUMB. CUTTING AND ALTERNATING OF TRUSSES IS NOT PERMITTED.



KEYPLAN

NOTES

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- ALL DIMENSIONS ARE TO BE CHECKED ON SITE
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS

LEGEND

No.	DATE	NAME	DESCRIPTION
1	21/02/2018	KdH	OBC reference/East Fnd.

No.	DATE	NAME	DESCRIPTION
1	21/02/2018	KdH	OBC reference/East Fnd.

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PROJECT:
EASY LIFT DOORS LTD 2018 EXPANSION

DRAWING TITLE:
FOUNDATION / DESIGN NOTES

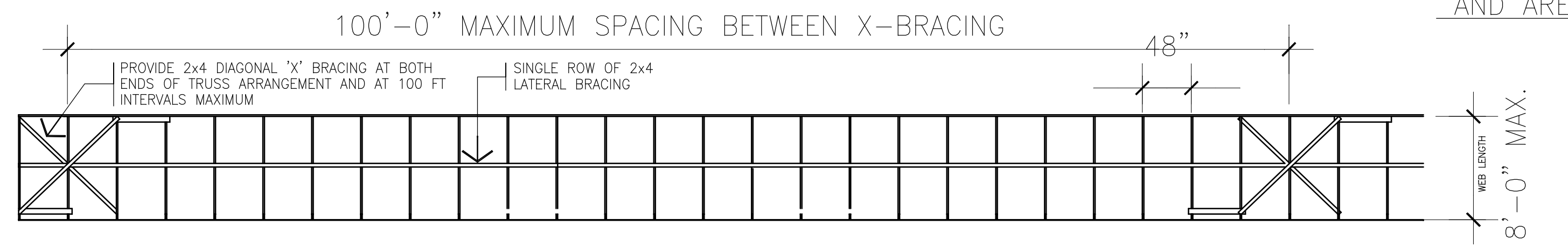
SCALE:
1/8" = 1'-0"
 DATE:
FEBRUARY 14, 2018
 DESIGNED BY:
KdH
 DRAWN BY:
KdH
 J.E.C. FILING No.:
20060048
 FILING LOCATION:
 www.jecinc.com

APPROVED BY:

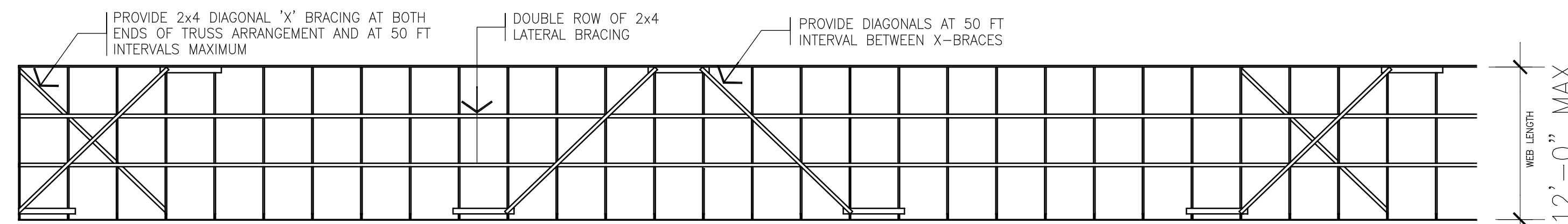
B. D. JOHNSON
 PROVINCE OF ONTARIO

SCHEDULE "A" DRAWING 6

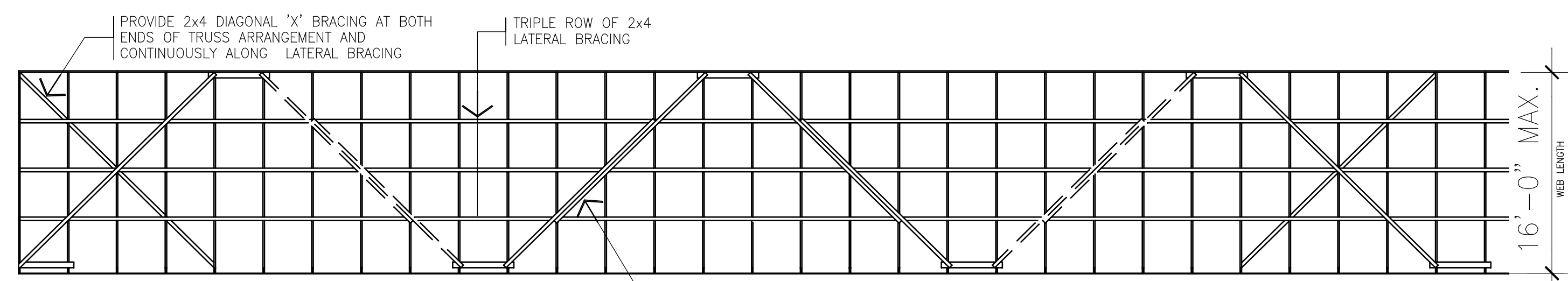
TRUSS BRACING AS DETAILED ON THIS SHEET ARE RECOMMENDED AS GUIDELINES ONLY, AND ARE NOT INTENDED TO REPLACE PROPERLY DETAILED TRUSS SHOP DRAWINGS



WEB MEMBER WITH ONE ROW OF LATERAL BRACING



WEB MEMBER WITH TWO ROWS OF LATERAL BRACING



WEB MEMBER WITH THREE ROWS OF LATERAL BRACING

DOUBLE 2"x 4" DIAGONAL AS REQUIRED TO ENSURE BRACE EXTENDS FROM TOP TO BOTTOM OR PROVIDE BUTT JOINT WITH 2"x 4" SCAB WITH 3 SPIKES EACH END.

TRUSS DESIGN NOTES:

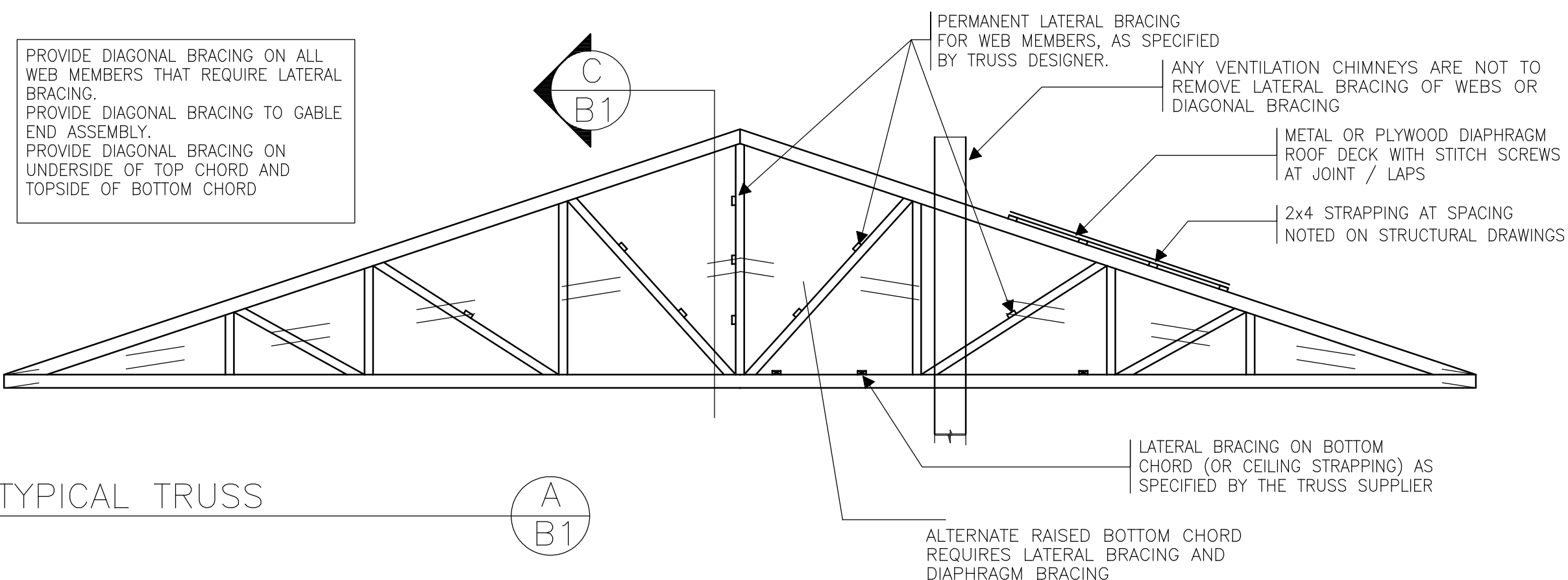
- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND CERTIFIED BY A PROFESSIONAL ENGINEER.
- UNBALANCED LOAD CONDITIONS SHALL BE INCLUDED IN THE TRUSS DESIGN. USE CW = 1.0 (NON-WINDSWEPT) UNLESS OTHERWISE NOTED.
- TRUSS DESIGNER TO ACCOUNT FOR INCREASED SNOW LOADS DUE TO ROOF VALLEYS AND SNOW SHADOWS.
- THE TRUSS SUPPLIER SHALL VISIT THE JOB SITE TO VERIFY ALL SNOW SHADOW CONDITIONS AND BUILDING DIMENSIONS ALONG WITH ALL ERECTION DETAIL.
- TRUSSES SHALL BE DESIGNED FOR A MINIMUM TOP CHORD DEAD LOAD OF 4 PSF AND A BOTTOM CHORD DEAD LOAD OF 7 PSF (LOW HUMAN OCCUPANCY FOR FARM BUILDINGS ONLY) UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL LOADS.
- TRUSS SHOP DRAWING SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN LOADS AND ASSUMPTIONS SHALL BE NOTED ON THE SHOP DRAWINGS. THE TRUSS SUPPLIER OR GENERAL CONTRACTOR SHALL SUBMIT ORIGINAL DRAWINGS TO THE ENGINEER DIRECTLY. FAX COPIES ARE NOT ACCEPTABLE.

1. THE TRUSS SHALL BE DESIGNED FOR AN ATTIC LIVE LOAD WITH A SHORT TERM DURATION
2. ALL TRUSSES SUPPORTING VALLEY LOCATIONS OR OTHER SNOW DRIFT SHADOW LOCATIONS ARE TO BE DESIGNED FOR LIVE LOAD MINIMUM OF 1.25 ACCUMULATION FACTOR.
3. IMPORTANCE FACTOR AS PER ONTARIO BUILDING CODE 4.1.3.2. TO REMAIN AT 0.8 (LOW HUMAN OCCUPANCY FARM BUILDINGS ONLY)
4. LOAD SHARING APPLIES FOR MEMBERS UP TO 48" ON CENTRE (LOW HUMAN OCCUPANCY FARM BUILDINGS ONLY)

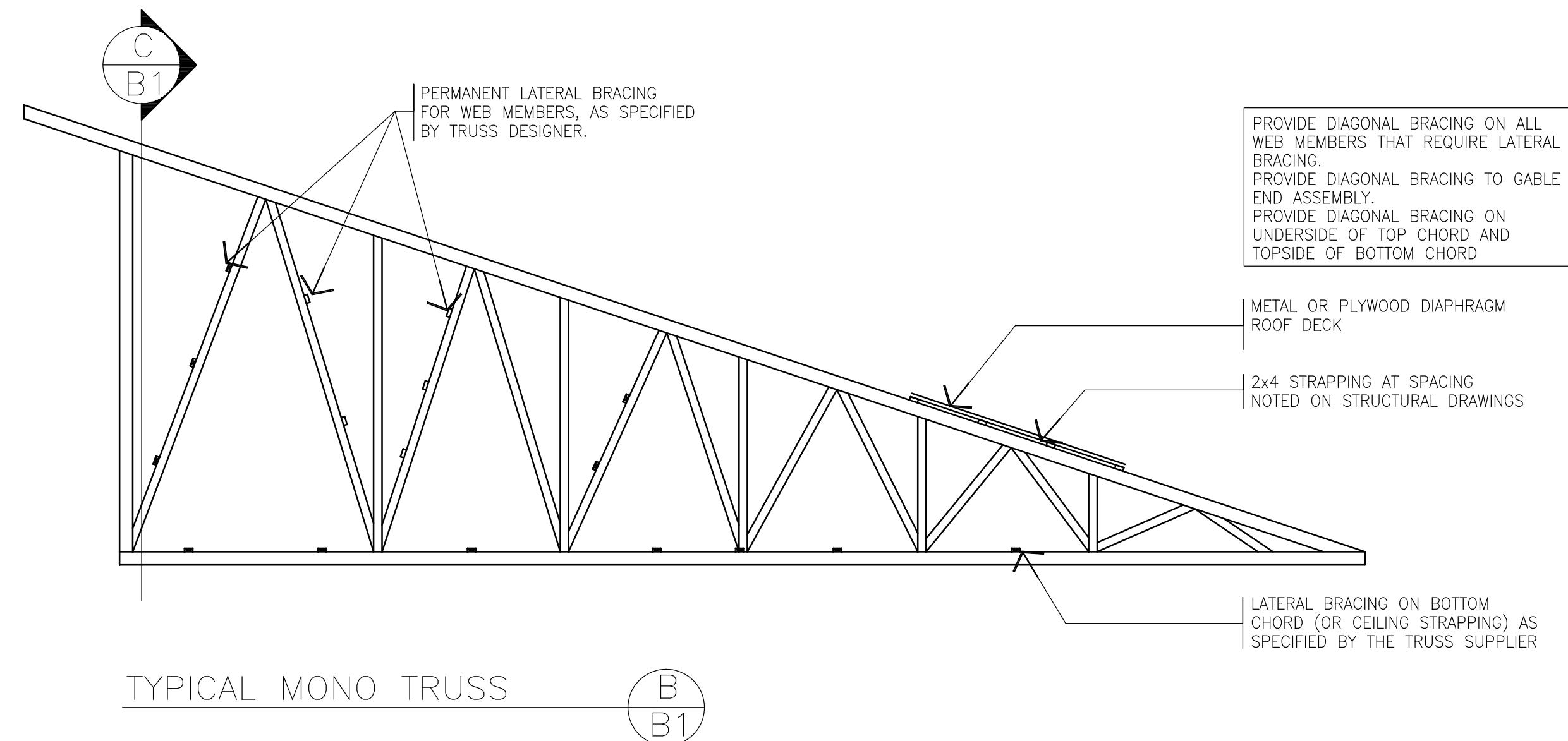
POWER DRIVEN 3-1/4" NAILS ARE TO BE DOUBLE THE NUMBER REQUIRED FOR 3-1/2" ARDOX SPIKES HAND DRIVEN

BRACING NOTES:

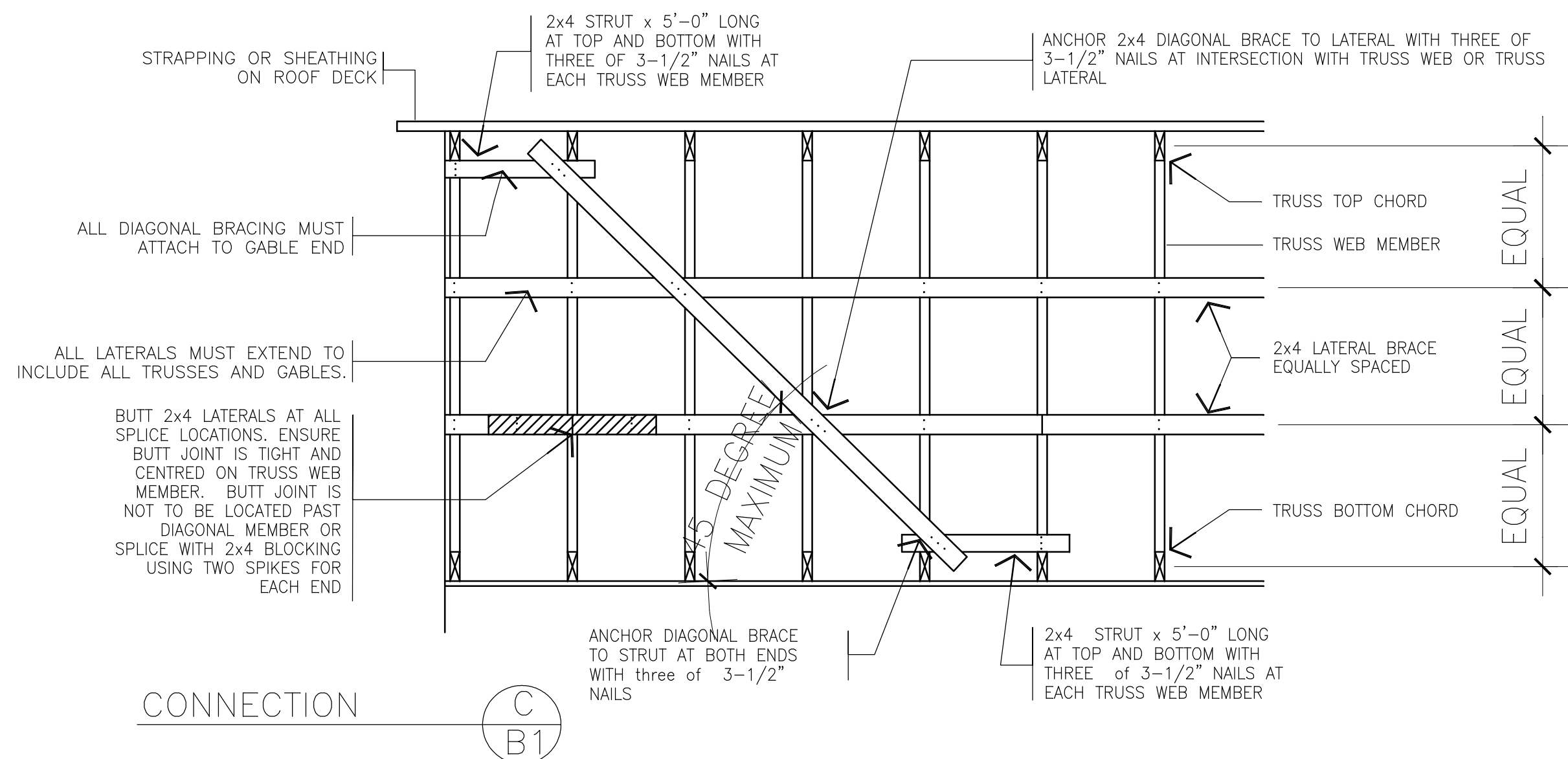
- 1.) PERMANENT LATERAL BRACING TO BE INSTALLED ON WEB MEMBERS AS INDICATED BY TRUSS DESIGNER. SIZE AND LOCATION OF LATERAL BRACES, AND CONNECTION TO WEB MEMBERS BY TRUSS DESIGNER.
- 2.) CONTRACTOR TO PROVIDE ALL REQUIRED TEMPORARY BRACING OF TRUSSES AND TRUSS MEMBERS DURING CONSTRUCTION.
- 3.) CONTRACTOR TO NOTIFY ENGINEER AND TRUSS SUPPLIER OF ANY TRUSS DEFICIENCIES SUCH AS DAMAGED OR BROKEN TRUSSES, WARPING OF TRUSS MEMBERS, AND MISSING OR OFFSET TRUSS PLATES.
- 4.) DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE SPACED AS NOTED ON THE ATTACHED DRAWINGS, AND X-BRACING SHALL BE PROVIDED AT 100'-0" MAXIMUM INTERVALS UNLESS NOTED OTHERWISE.
- 5.) PROVIDE DIAGONAL BRACING AT ALL DISCONTINUITIES IN LATERAL BRACING SUCH AS WHERE TRUSS TYPE CHANGES.
- 6.) THE TRUSS SUPPLIER SHALL DESIGN THE TRUSSES FOR THE BRACING NOTED. NO ADDITIONAL BRACING WILL BE INSTALLED UNLESS WRITTEN NOTICE IS PROVIDED TO THE ENGINEER BY THE TRUSS MANUFACTURER.
- 7.) THE CONTRACTOR AND THE TRUSS SUPPLIER SHALL ENSURE TRUSS SHOP DRAWINGS ARE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE CONTRACTOR SHALL REVIEW THE TRUSS SHOP DRAWINGS PRIOR TO SUBMITTING THEM TO THE ENGINEER.



TYPICAL TRUSS



TYPICAL MONO TRUSS



CONNECTION



NOTES

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REVISIONS			
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ST. MARYS, ON.
N4X 1B6

PROJECT:
EASY LIFT DOORS LTD 2018 EXPANSION

DRAWING TITLE:
TRUSS BRACING DETAILS

SCALE:
NOT TO SCALE

DATE:
FEBRUARY 14, 2018

DESIGNED BY:
KdH

DRAWN BY:
KdH

J.E.C. FILING No:
20060048

FILING LOCATION:
www.complan.com

APPROVED BY:
PROFESSIONAL ENGINEER
FEB 21 2018
B. D. JOHNSON
PROVINCE OF ONTARIO